

# WALDEN



# Introduction

- Walden is a naturally inspired community, located on the south edge of Calgary, on land that encompasses standing groves of trees and wetlands. The community is named for the book “Walden” by author Henry David Thoreau. Thoreau is known as one of the founders of the modern appreciation of nature and ecology. As it was in Thoreau’s book, Genstar’s newest community of Walden will also be dedicated to the exploration of nature, not as a backdrop to everyday life but as a fully integrated component in the lives of Walden residents. Walden will be established to ensure the community is environmentally responsible for years to come.  
The planners of Walden have responded to a desired change in the suburban environment and created a community that will attract and accommodate a wide variety of people. Walden is envisioned as a true “life cycle” community offering a range of housing types that will cater to a variety of age groups and lifestyles. Walden is destined to become a unique home to many while creating lasting legacies with sustainable advantages.

# Architectural Style

- Walden is envisioned as a unique community that is eager to welcome a number of personal styles. The goal in Walden is to accommodate the desires and needs of these many personalities while creating an exciting yet compatible environment.
- In the single family areas of Walden the housing will provide a blend of the old with the new. There will be a fusion of traditional and modern architectural styles that will offer a creative edge to the design opportunities in Walden.
- Traditional architectural styles will form a strong base to the architectural component of the neighborhood while the introduction of urban modern detailing, clean lines and edgy materials will provide the excitement that will generate uniqueness.
- The utilization of forms from any of the following traditional styles are acceptable:  
Craftsman          Prairie          French Country
- The exteriors of all homes and buildings will combine the use of the strong traditional forms such as gable or hip rooflines and simple massing with urban modern elements that include large windows, unique window patterns, clean lines and detailing, flat roof accents and maintenance free materials to create an 'urban fusion' of architectural styles throughout Walden.
- Builders will be encouraged to explore alternate and unusual details, materials and building practices that will entice today's discerning buyers.
- The intentions of the Architectural Guidelines will be to create a contemporary, vibrant community - an urban fusion of architectural styles that is comfortable and friendly to all its residents.



# Single Family Design Requirements

Several of the design requirements for homes in Walden will change in different phases of the community depending on the market and home type intended for the phase. These requirements will be specified on individual price sheets or marketing maps as they are released by Genstar Development Company. Some of these design requirements are:

- **Minimum House sizes** – All houses will have a minimum house size requirement
  - **Minimum House Widths** – all houses must fill the buildable lot width available, minimums house widths will be specified on the price sheet if applicable
  - **Garages** – some lot locations will require front drive garages while others may not permit them. Garage requirements will be provided and proposed garage locations will be noted on the Building Grade plan. Garage locations may be subject to change depending on house design.
  - **High exposure locations** – homes on highly exposed lots will require additional treatment on any and all exposed elevations. Treatments will be expected to be equal to that of the front elevation. All elevations will require horizontal elements, preferably single storey elements, to enhance 2 or 3 storey walls.
  - Special **Material requirements**, such as upgraded siding or roofing, will be identified on the price sheet.
- Certain design requirements are expected on all homes throughout the community. These requirements include:
- The dominant **exterior material** must be used on all elevations of the home. Mixing of material types on one home must be reflected in the design elements.
  - **Front entries** are to be treated as focal points on all homes. Additional treatments or enhancement in some manner is expected.
  - All **masonry product** is to be suitably returned around all corners to a reasonable termination location. Minimum distance will be 2'.
  - **Masonry** is to be included on high exposure rear elevations if front elevation includes masonry.
  - **Eave overhang** distances are to be suitable to the Architectural Style and massing of the home. Minimum overhang in general will be 1'-0".
  - Oversized **garage doors** will be avoided.
  - **Parging** is to be minimized at all times. 8" maximum parging will be permitted on exposed elevations, 4" on garage fronts.





CRAFTSMAN – Larger Homes

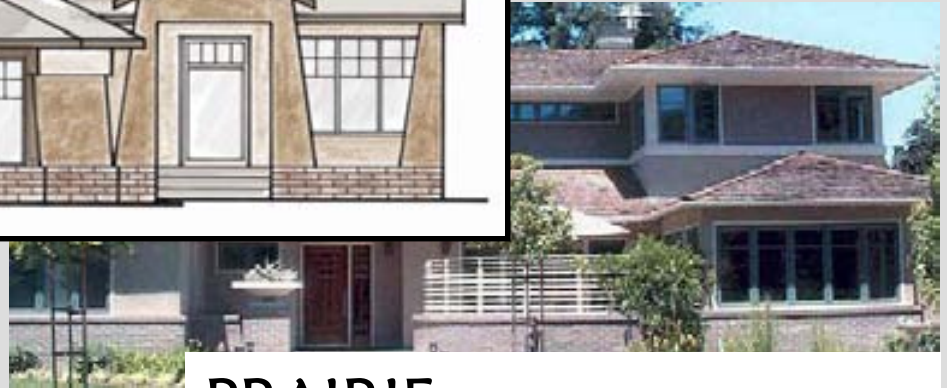
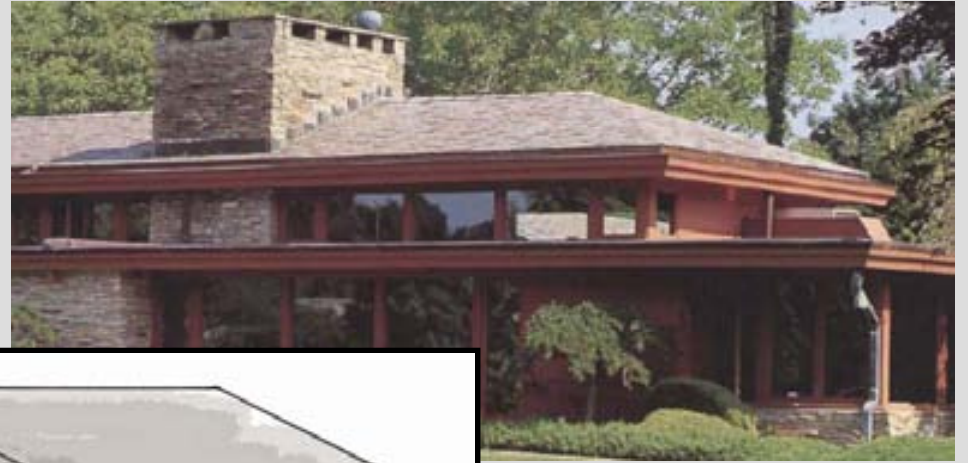




URBAN MODERN – Larger homes







PRAIRIE – Larger Homes







FRENCH COUNTRY – Larger Homes







EICHLER – Larger Homes





CRAFTSMAN – Smaller Homes







URBAN MODERN – Smaller homes







PRAIRIE – Smaller Homes





FRENCH COUNTRY – Smaller Homes



# Streetscapes







The intentions of the Architectural Guidelines for Walden will be to create a contemporary, vibrant community that is comfortable and friendly to all its residents.

# Multi Family Architecture

The many multi family sites located throughout Walden will provide opportunity for a great assortment of housing types that will meet the needs of a broad market base. Multi family projects are expected to be designed as an integral part of the overall community while incorporating unique features that will stimulate the environment of the community. Whereas the single family housing in Walden will promote stability through the fusion of traditional and modern styles, multi family projects will promote the progressive nature of the community of Walden. Modern styling will dominate the exterior design of all Walden multi family projects.



# Multi-Family Design Requirements

## Site Guidelines

The intent of the site guidelines is to encourage open space development that is beneficial to both the site development and the surrounding community. Key concerns will be:

- overall building placement
- utilization of advantageous street frontage (ie: live/work units)
- pedestrian and vehicular environments and connectivity
- relationships with adjacent properties

## Setbacks

The basic setback requirements will follow those established by the City of Calgary Land Use By-Law. Areas that will benefit from increased openness will require greater setback and will be reviewed on an individual basis. All multi family sites are required to submit a master plan for approval early in the design stage. The submission is to include a site layout indicating building locations, setbacks, roadways, parking, and amenity features etc. in order to identify any such areas and other points of concern.

## Landscaping

A comprehensive landscape plan is required for all of the sites in Walden.

Landscaping requirements will consider at **least** the following guidelines:

- All areas of the site not covered by buildings, parking areas and vehicular movement areas are to be fully landscaped.
- Soft landscaping is to be provided adjacent to the property line over the full length of the site.
- Landscaping designs are to include amenity features (benches, playgrounds, decorative items etc.) that enhance the quality of the site environment.
- Trees should be planted in groups whenever possible and existing trees are to be retained whenever possible.
- Large deciduous trees are to exceed 85mm caliper and small deciduous trees are to exceed 50mm caliper. Large coniferous trees are to be greater than 3M in height and small coniferous trees are to be greater than 2M in height.
- At least 75% of all trees are to be large size and at least 33% of all trees are to be coniferous trees.
- Shrubs are to be planted in groups so as to create a feature or visual prominence. All shrubs are to have a height or spread of at least 600 mm at the time of planting.
- All areas designated as grass are to be sodded.
- All landscaped areas are to be equipped with underground sprinkler systems.
- Pathway systems are to be integrated with pathways on adjacent sites to create continuous pedestrian movement.
- Landscaping that is used to screen parking, driveways or otherwise unattractive areas is to be effective on a year round basis.
- All retaining walls shall be submitted to Genstar Development Company for approval prior to construction



### **Parking and Loading**

- Parking requirements will meet all City of Calgary Land Use Bylaw requirements.
- All parking areas are to be as unobtrusive as possible to both the site development and adjacent developments. The provision of landscaped screening of all parking areas is required. Parking areas are required to have landscaped islands where parking rows terminate
- All parking areas are to be fully paved with asphalt complete with setback concrete curbs and gutters.

### **Fencing and Screening**

To better integrate multi family sites within the community overall site fencing is discouraged. Appropriate screen fencing may be permitted where required for privacy, screening or enhancement of site features.

Guideline recommendations are as follows:

- The materials & colours used for all fencing and screening are to match either the site buildings or the community amenity features.
- Any chain link fencing approved for use on any site must be completely black vinyl covered chain link.
- All roof top mechanical units are to be completely screened in a manner that relates to the architectural style of the building and shall be sufficiently screened from adjacent residential development.
- All perimeter yards adjacent to residential areas shall be visually screened to a minimum height of 1.8 meters (6 feet) by either fencing or berming and landscaping or a combination of the two.

### **Garbage Enclosures**

- Garbage enclosures are to be provided on all sites and are to be located in unobtrusive locations.
- Enclosures are to be designed to suit the architectural style of the development and is to be enhanced with upgraded materials if necessary.

### **Site Lighting**

- The site lighting throughout all developments are to be of an appropriate design that suits the standard that is typical to the parks and recreational developments in the area
- Commercial developments that have additional lighting requirements may supplement the themed lights with additional site lighting

## Exterior Design Guidelines

The exterior designs of all the multi family projects in Walden are to possess strong modern architectural influences. These influences may include but are not limited to:

- flat rooflines
- large glass expanses
- angular forms
- unusual massing
- clean lines
- unconventional materials

Designers are encouraged to pursue unique and creative solutions to express the visionary design quest that is foreseen for Walden.



# Commercial Architecture





# Commercial Design Requirements

## Site Guidelines

The design guidelines particularly encourage the creation of a comprehensive commercial development that will become a signature statement to the quality of the Walden Community. Creating a Modern Style development that is conducive to a commercial environment and successfully incorporates the branding and signage of the commercial tenants into the architectural style will be imperative. Solicitous relationships with adjacent properties and in particular, residential areas, is essential to the design of commercial areas in Walden. Guidelines to consider in this area are:

- The overall building placement
- Overall environment and connectivity to the remainder of the community
- Creation of a varied façade that has continuity yet provides recognition to the various tenants
- Provide suitable signage space of varied sizes and locations to accommodate the different “LOGO” signs
- Provide interesting and unique or varied entrances to the different CRU’s
- Provide accommodating pedestrian access to all areas of the site and to adjacent sites
- Ensure that special branding features are appropriately incorporated into the architecture of the building
- Include patio spaces in appropriate locations
- Utilization of advantageous street frontage (ie: live/work units)
- The scale of all buildings is to be compatible with adjacent developments.
- Return all roof parapets a minimum of 1/3 the length of the parapet.

## Setbacks

The basic setback requirements will follow those established by the City of Calgary Land Use By-Law. Areas that will benefit from increased openness will require greater setback and will be reviewed on an individual basis. All multi family sites are required to submit a master plan for approval early in the design stage. The submission is to include a site layout indicating building locations, setbacks, roadways, parking, and amenity features etc. in order to identify any such areas and other points of concern.

## Parking and Loading

- Parking requirements will meet all City of Calgary Land Use Bylaw requirements.
- All parking areas are to be as unobtrusive as possible to both the site development and adjacent developments. The provision of landscaped screening of all parking areas is required. Parking areas are required to have landscaped islands where parking rows terminate
- All parking areas are to be fully paved with asphalt complete with setback concrete curbs and gutters.

## Signage

- All sites will be permitted both freestanding and building signage relative to the type and size of the site being developed and in accordance with the City of Calgary Land Use Bylaw Sign Regulations. All signage shall be reviewed and approved by Genstar Development Company prior to any formal City of Calgary submissions. Approval guideline recommendations for signage are as follows:

## Garbage Enclosures

- Garbage enclosures are to be provided on all sites and are to be located in unobtrusive locations.
- Enclosures are to be designed to suit the architectural style of the development and is to be enhanced with upgraded materials if necessary.

### **Free standing signs**

- are to have design features that reflect the character of the principal buildings on the site or incorporate Walden amenity feature characteristics
- Illuminated signage will be limited in areas adjacent to residential developments. Front lit or very subtle illumination may be permitted in these areas.
- Rotating, flashing and animated signs will not be permitted on any sites

### **Building Signage**

- Building signage is to be well incorporated into the building architecture and consistent throughout the development.
- Locations of illuminated building signage will be limited in close proximity to residential areas.

### **Landscaping**

A comprehensive landscape plan is required for all of the sites in Walden.

Landscaping requirements will consider at **least** the following guidelines:

- All areas of the site not covered by buildings, parking areas and vehicular movement areas are to be fully landscaped.
- Soft landscaping is to be provided adjacent to the property line over the full length of the site.
- Trees should be planted in groups whenever possible.
- Large deciduous trees are to exceed 85mm caliper and small deciduous trees are to exceed 50mm caliper. Large coniferous trees are to be greater than 3M in height and small coniferous trees are to be greater than 2M in height.
- At least 75% of all trees are to be large size and at least 33% of all trees are to be coniferous trees.
- Shrubs are to be planted in groups so as to create a feature or visual prominence. All shrubs are to have a height or spread of at least 600 mm at the time of planting.
- All areas designated as grass are to be sodded.
- All landscaped areas are to be equipped with underground sprinkler systems.
- Pathway systems are to be integrated with pathways on adjacent sites to create continuous pedestrian movement.
- Landscaping that is used to screen parking, driveways or otherwise unattractive areas is to be effective on a year round basis.
- All undeveloped phases of a development shall be hydroseeded and properly maintained.
- All retaining walls shall be submitted to Genstar Development Company for approval prior to construction

### **Site Lighting**

- Commercial developments that have additional lighting requirements are required to use low key downlights in a style that is representative of the style of the buildings exteriors.

# Commercial and Multi Family

## ARCHITECTURAL APPROVAL PROCESS

### Approval Process

All applicants are required to submit their proposed developments to Evans 2 Design Group for approval. To ensure that all proposals will be reviewed in a timely and thorough manner applicants are required to submit complete information at each stage of the approval process. The following criterion outlines the submission requirements of each of the stages.

### Master Plan

All applicants are required to submit a master plan to show their site development in relationship with all adjacent sites. All master plans must be reviewed and approved by Genstar Development Company before preliminary design drawings are submitted for approval. All master plan submissions shall include the following:

- a) Approval submission form
- b) Overall site plan showing site in question with all building outlines, adjacent site outlines and any available adjacent building outlines
- c) All vehicular and pedestrian circulation on site and tie-ins to adjacent sites
- d) All parking, loading, storage spaces and garbage locations
- e) All descriptions and illustrations necessary to describe the architectural character if available
- f) Conceptual landscaping plan
- g) Proposed phasing plan if applicable
- h) All plans should indicate phasing or staging and should pay particular attention to design relationships with adjacent properties and streets.

### Preliminary Design

All applicants are required to submit preliminary design drawings that fully reflect the architectural concept of the project. The preliminary design drawings must be reviewed and approved by Genstar Development Company prior to the commencement of final architectural drawings. This submission is to include:

- a) Approval submission form (Schedule F)
- b) Site plan with all buildings and structures correctly placed and all setbacks fully dimensioned
- c) Building floor plans including unit size and area information
- d) Elevations of all buildings properly indicating all material information
- e) Proposed colour scheme for all buildings
- f) Preliminary approval will only be completed when all information is received.



### **Final Design/Development Permit Drawings**

All applicants are required to submit final design drawings to Genstar Development Company prior to the application for Development Permit with the City of Calgary. Application for development approval to the City of Calgary must include a letter from Genstar indicating their approval of the project. The Development Permit drawings and information may be used to make the final approval submission to Genstar. The final approval submission is to include at least the following:

- a) All statistical information relative to the project
- b) All plans including a site plan, phasing plan, landscaping and building plans
- c) Finished grading plan
- d) All sections and elevations of the building(s) and site structures
- e) All details relating to building and site signage
- f) All information regarding site fixtures ie) lighting, benches etc.
- g) Complete materials and colours sample boards
- h) Preliminary specifications
- i) All applicable drawings are to include the relationship of adjacent properties and public streets.
- j) Upon receipt of the final drawing approval the applicant may proceed with the Development Permit Application.

### **Final Architectural Drawings**

The applicant is to inform Genstar Development Company of any changes or conditions required by the City of Calgary on the Development Permit for the site prior to completing the final architectural drawings.

All final architectural drawings are to conform to the approved development permit drawings. A complete set of the final architectural drawings is to be submitted to Genstar as soon as they are available.

### **Contact Information**

**GENSTAR Development Company**  
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