

# SUMMERLEA



## PHASE 1

### ARCHITECTURAL GUIDELINES NOVEMBER 2020



# TABLE OF CONTENTS



<b>1. ARCHITECTURAL VISION</b>	<b>1</b>		
<b>2. SITE PLANNING</b>	<b>3</b>		
2.1 House Placement	3		
2.2 Setbacks	3		
2.2.1 Front Setback	3		
2.2.2 Side yard Setback	3		
2.3 Unusual shaped or Pie-lots	4		
2.4 Site Coverage	4		
2.5 Grading	4		
2.6 Retaining Walls	5		
<b>3. GENERAL REQUIREMENTS</b>	<b>7</b>		
3.1 House Types	7		
3.2 House Sizes	7		
3.2.1 Front Drive Lots	7		
3.2.2 Laned Lots	7		
3.3 House Widths	7		
3.3.1 Standard Lots	7		
3.3.2 Amenity & Rear Exposure Lots	7		
3.4 Massing	8		
3.5 Building Height	8		
3.6 Garages & Driveways	8		
3.6.1 Garages	8		
3.6.2 Driveways & Parking Pads	8		
3.7 Repetition	9		
3.7.1 Exterior Design	9		
3.7.2 Colours	9		
<b>4. ARCHITECTURAL DESIGN</b>	<b>11</b>		
4.1 Architectural Styles	11		
4.1.1 Classic Farmhouse	12		
4.1.2 Modern Farmhouse	13		
4.1.3 Industrial Farmhouse	14		
4.1.4 Nordic Farmhouse	15		
4.2 Roof Design and Pitch	16		
4.3 Windows	16		
4.4 Front Entry Requirements	17		
4.5 Garage Doors	18		
4.6 Detached Garages	19		
4.7 High Exposure Elevations	19		
4.7.1 Side Elevations	20		
4.7.2 Rear Elevations	20		
4.7.3 Duplex Lots	21		
4.7.4 Parging	21		
<b>5. MATERIALS AND COLOURS</b>	<b>23</b>		
5.1 Wall Finish	23		
5.2 Colours	23		
<b>6. PROCESS OF APPROVAL</b>	<b>25</b>		
6.1 Review	25		
6.2 Submission Process	25		
6.3 Portfolio Review	25		
6.4 Preliminary Architectural Approval	25		
6.5 Conditional Final Architectural Approval	26		
6.6 Final Colour Review	26		
6.7 Final Approval	26		
6.8 Revisions	26		
6.9 Site Check	27		
6.10 Building permit	27		
6.11 Surveyor stakeout	27		
6.12 Discretion	27		
<b>7. CONTACTS</b>	<b>29</b>		
<b>APPENDIX A</b>	<b>31</b>		

# 1. ARCHITECTURAL VISION

Drawing on the image of early prairie settlements, the community of Summerlea will establish its architectural character through the strong, basic forms of the iconic Farmhouse style. Originating from functional needs, the Farmhouse style maintains clean lines and simple floor plates with exteriors that are unpretentious and straightforward yet inviting.

In Summerlea, homes will blend the traditional forms and features of the classic Farmhouse style with progressive, modern materials and contemporary details to create a one-of-a-kind aesthetic that is perfectly suited to a modern, yet relaxed lifestyle. The mix of classic and contemporary will create a community that feels as though it developed organically over decades.

Note: The examples in this section are selected to illustrate style, detailing and proportions, and do not establish specific expectations concerning size, materials and finishes within the neighbourhood. Where elements within these architectural vision illustrations contradict specific guidelines, the letter of the guidelines will prevail. The illustrations may contain certain elements that are not acceptable. The purpose of the illustrations is to depict the intent rather than specify all the acceptable details or elements.



## 2. SITE PLANNING

### 2.1 House Placement

Builders are to choose house designs that are suited to all the attributes of the lot. Builders are to review all available information and ensure the proposed house considers the lot size, lot location, site grading and view potential. Houses are expected to fill the lot width appropriately, avoid unnecessary use of retaining walls, provide a compatible relationship with adjacent homes and provide additional detailing and articulation on exposed elevations.

### 2.2 Setbacks

#### 2.2.1 Front Setback

The developer's architectural consultant will review all front setbacks and adjust them at their discretion to provide articulation between the front of adjacent houses to create a more interesting streetscape with variety along the street.

- Adjacent houses will not be permitted to have the same front setback.
- Houses with greater massing will require increased setbacks to reduce their dominance on the street.

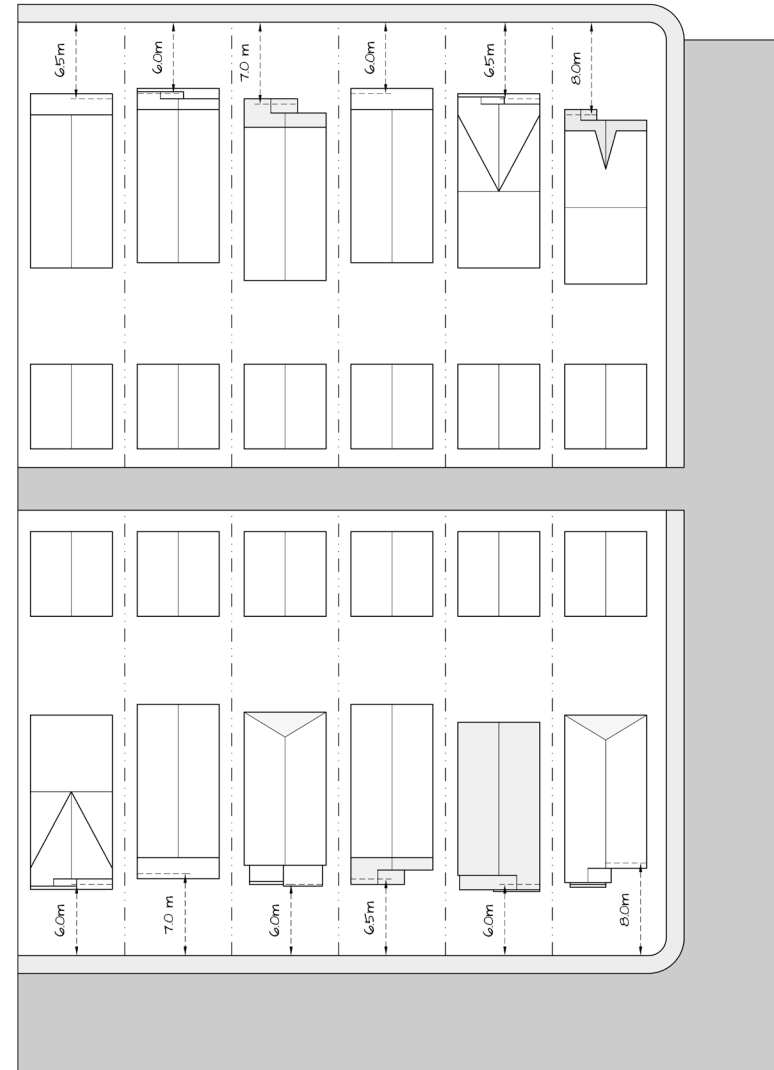
Minimum front setback requirements from the property line:

- Front Drive Garage Homes: between City of Winnipeg Zoning Bylaw minimum and up to Bylaw minimum plus 5 feet (1.5m).
- Non-Front Drive Garage Homes: between Bylaw minimum and up to Bylaw minimum plus 5 feet (1.5m).
  - This requirement shall consider the setbacks of existing adjacent houses along the street.
- Greater front yard setbacks will be required on corner lots.

#### 2.2.2 Side yard Setback

- The side yard setback shall not exceed 5 feet from the side property line.

General setbacks on all lots will be governed by the minimum setback requirement as per the City of Winnipeg Zoning Bylaw requirements. Garages may be offset from the main home by a maximum of 24" at the discretion of Genstar Development Company or its Architectural Consultant.



2.2.1

## 2.3 Unusual shaped or Pie-lots

The architectural consultant will review the siting of all houses, ensuring the siting of houses on pie-lots are acceptable to the streetscape and compatible with adjacent houses. Builders are encouraged to choose house plans that can be centered on these lots with the greatest exposed frontage to the street. The same side yard setback requirements apply to unusual shaped or pie-lots.

## 2.4 Site Coverage

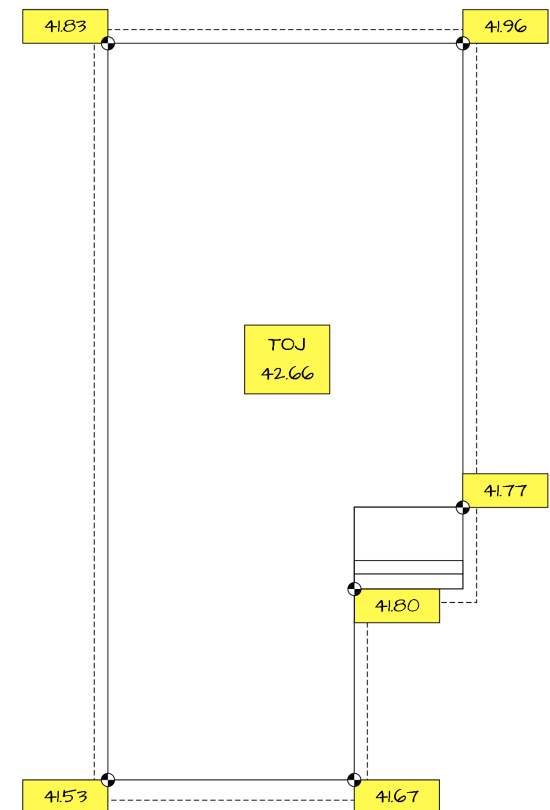
Total site coverage will be as per the City of Winnipeg Zoning Bylaw requirements.

## 2.5 Grading

- All Architectural Review Submissions must provide a plot plan with the following grades:
  - Top of sub-floor elevation
  - Rear Grade (Engineer provided rear grade will be accepted)
  - Front Step Grade
  - Front of Garage
- These grades will be reviewed and adjusted at the architectural consultant's discretion to ensure that the grading design is harmonious with the site topography and neighbouring houses.
- Houses are to maintain no more than 5 risers from the front grade to the main floor sub-floor.
- Max 16% side yard slopes will be recommended adjacent to the front of garage and veranda, based on site conditions and at the architectural consultant's discretion.
- Builders are responsible for ensuring the house type is suitable for the lot grading.

Builders are to familiarize themselves with the engineering grade plan and ensure that drainage patterns are established on all lots that channel surface water away from the house on all sides and into adjacent drainage swales and storm water systems.

- Grading and drainage patterns must coordinate with adjacent lots, no drainage across adjacent lots can occur unless provided for via easement pursuant to the City approved lot grading plan.
- Downspouts are to be positioned to direct water away from the house, to adjacent streets or side or rear drainage swales. Storm water cannot be directed onto adjacent lots.
- Driveway approach on public right of ways and driveway slopes must adhere to the requirements stated under 3.6.2 Driveways & Parking Pads.



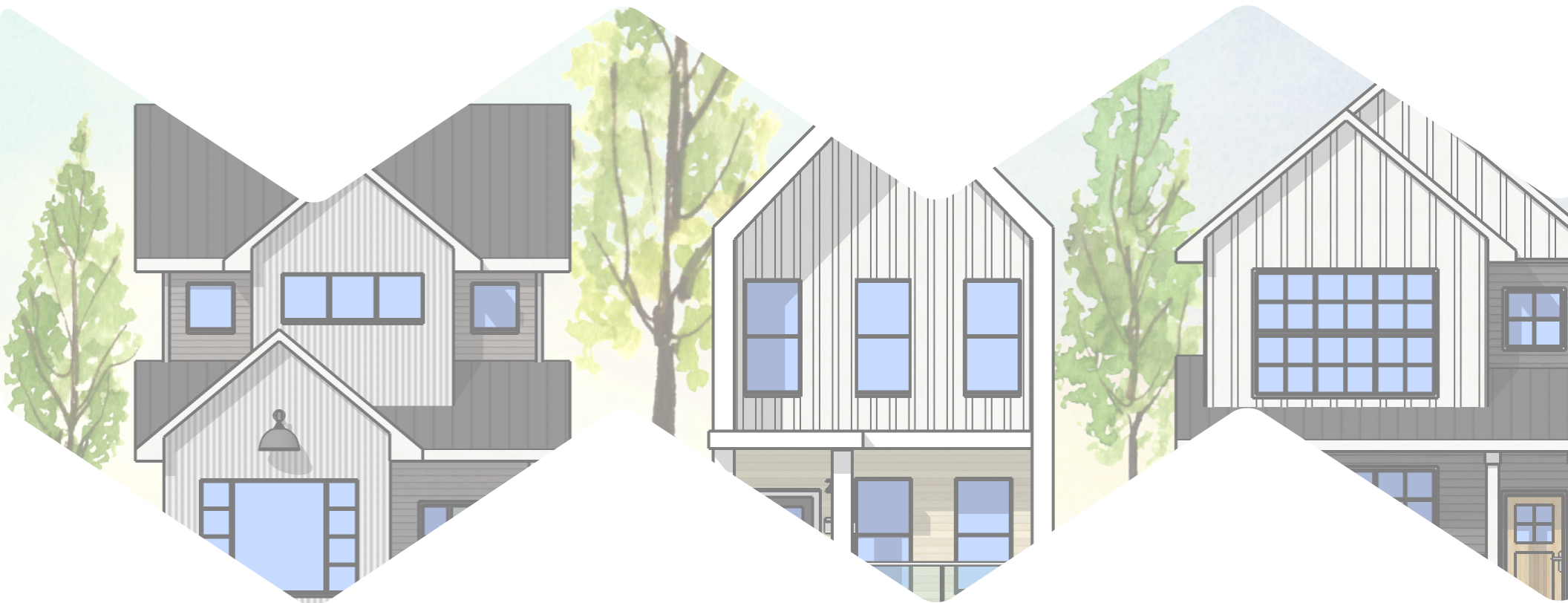
2.5

## 2.6 Retaining Walls

Builders are to choose houses that suit the lot grading and avoid unnecessary use of retaining walls.

- If retaining walls are required, they will be entirely the responsibility of the builder and must be approved by the Architectural Consultant on the approved plot plan.
- Builders are required to provide as built grades and self-resolve any grading disputes with adjacent properties.
- All retaining structures must be within property lines.
- Concrete wing walls will be acceptable when not visible from a street or public space.
- Any retaining wall exceeding 1.00 metre in height MUST be approved by a professional engineer and may require a development permit.
- Acceptable materials for retaining walls are:
  - Landscaping blocks (i.e. Alan block) or poured concrete with aggregate surface.





# 3. GENERAL REQUIREMENTS

## 3.1 House Types

Houses in Summerlea will be primarily of two-storey massing. To maintain a consistent streetscape, bungalows will be permitted on a discretionary basis. Cabover style homes are not permitted.

Three-storey houses are acceptable on interior lots providing they meet all the City of Winnipeg Zoning Bylaw requirements for height. Horizontal breaks in massing will be required to eliminate any three-storey tall walls. Three-storey houses will not be permitted on corner lots.

## 3.2 House Sizes

The following are the MINIMUM HOUSE SIZES for this development:

### 3.2.1 Front Drive Lots

- Bungalows - 1,200 sq.ft.
- Two-stories, Split Levels - 1,500 sq.ft.

### 3.2.2 Laned Lots

- Bungalows - 1,000 sq.ft.
- Two-stories, Split Levels - 1,350 sq.ft.

\*\*Houses with a living area up to 10% less than the above stated minimums may be permitted provided that the front elevation detailing compensates for a smaller living area.

## 3.3 House Widths

Houses are expected to utilize the lot width available to provide maximum frontage to the street.

### 3.3.1 Standard Lots

The house is required to fill the lot to meet the maximum 5'-0" side yard requirement.

- The house width (excluding garage offset) must be maintained for the majority of the depth of the house on both floors.
- There will be a maximum 24" garage offset permitted.

### 3.3.2 Amenity & Rear Exposure Lots

- The house is required to fill the lot to meet the maximum 5'-0" side yard requirement.
- The house width (excluding garage offset) must be maintained for the entire depth of the house on both floors.
- There will be a maximum 24" garage offset permitted.

### **3.4 Massing**

For consistency of visual bulk and massing, second floor footprints must remain consistent with the general house proportion and the main floor footprint.

### **3.5 Building Height**

The maximum building height will be as per the City of Winnipeg Zoning Bylaw requirements.

### **3.6 Garages & Driveways**

#### **3.6.1 Garages**

Houses will be sited as per the proposed garage locations on the driveway and approach location plan whenever possible.

Recommendations for alternate siting may be proposed at the preliminary approval stage if the house footprint and adjacent relationships warrant and if there are no conflicts with municipal or shallow utilities.

- Double car garages are mandatory and shall be minimum 19 feet wide on lots above 34 feet in width. 18 foot wide garages will be allowed on 32 foot wide lots.
- The wall finishes on the garage must echo the primary wall finishes of the house.
- The design of the garage shall echo the house design.
- On front drive lots, garages must be significantly detailed and harmoniously blend with the overall theme of the house.
- The maximum distance between the top of the garage door and the underside of the eave is to be 24" (excluding trim from calculation). Lowering the roofline, higher garage doors and/or additional detailing will be required when exceeding the maximum distance.
- When lot size permits, garages may be offset to fill the lot width (24" offset).

#### **3.6.2 Driveways & Parking Pads**

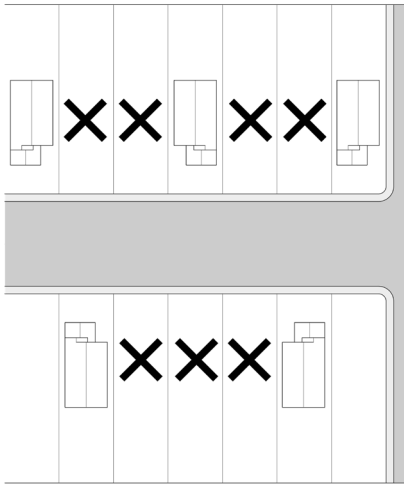
- Driveways and Parking Pads must be constructed of natural concrete with a broom finished surface. The driveway and the approach shall be constructed at the same time.
- Driveway approach on public right of way will have a maximum 3% slope.
- Driveways will have a maximum 6% slope. Calculated from face of garage to property line.
- Gravel driveways/parking pads are prohibited.
- Driveway widths must not exceed the width of the garage doors by more than 2'.
- On laned lots, a concrete garage pad for a detached garage is required as a minimum within 2 years of occupancy of the house. The concrete pad must be for a minimum of a single car garage and shall be set back a minimum of 4' from the rear property line.

## 3.7 Repetition

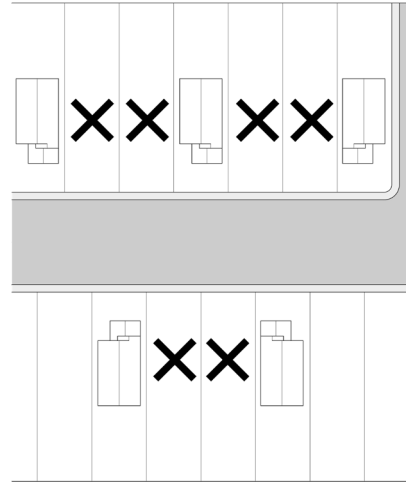
### 3.7.1 Exterior Design

To ensure suitable variety of all streetscapes, houses of the same or similar design and detailing will be separated.

- Similar house designs must have a minimum of 2 lots on either side and every second home on the opposite side of the street before they can be repeated.



3.7.1a

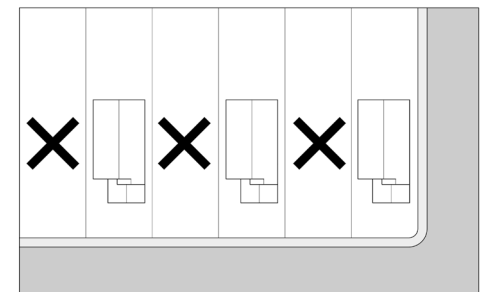


3.7.1b

### 3.7.2 Colours

To further ensure houses offer an element of distinction on streetscapes separation will be required between colour schemes.

- Between similar colour schemes there must be a minimum of 1 house between on the same side of the street.
- Houses with significant differences in architectural style and design may be permitted, at the consultant's discretion, to have similar colour schemes in closer proximity than is typical. Front facades of a different colour or material than the main siding will be administered at the consultant's discretion in regard to colour repetition.



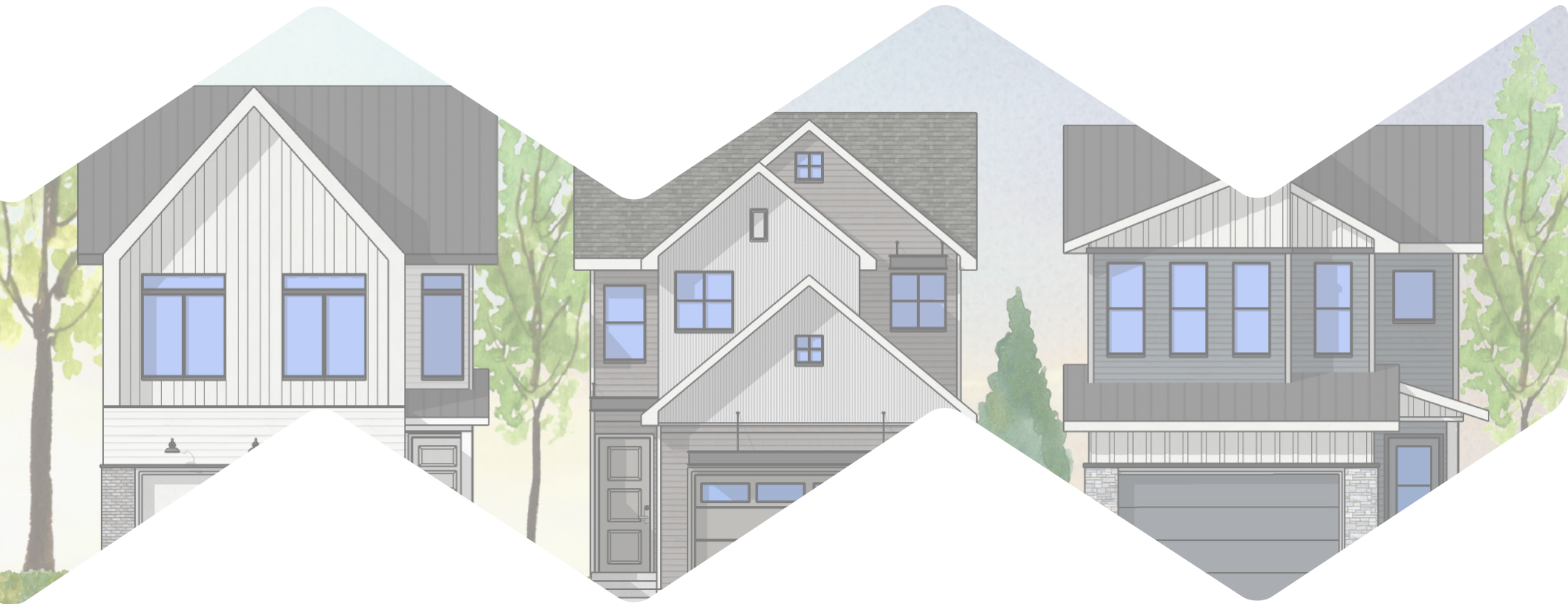
3.7.2



# 4. ARCHITECTURAL DESIGN

## 4.1 Architectural Styles

Recognizing the historical values of the region while bringing a distinctive style to the new communities of Winnipeg, Summerlea will feature a spectrum of Farmhouse inspired styles including Classic, Modern, Industrial, and Nordic variations of Farmhouse.



#### 4.1.1 Classic Farmhouse

The overall form of the classic Farmhouse will be stacked two-storey elements with simple, steep pitched gable rooflines. These classic Farmhouses will greet you with a large porch area adorned with simple columns and railings providing a rustic charm to the façade. Windows are uniform in size with repetitious placement. Exterior materials generally are limited to various types of siding - horizontal, vertical and board and batten.

##### CHARACTERISTICS:

- Stacked two-storey forms
- Steep pitched gable rooflines
- Large porch
- Simple columns
- Horizontal or vertical siding
- Board and Batten
- Uniform, repetitive windows
- Subdued colour schemes



4.1.1a



4.1.1b



#### 4.1.2 Modern Farmhouse

Modern Farmhouse style takes the same stacked two-storey forms but often include single angle or flat rooflines rather than simple, steep pitched gable rooflines. Windows are a predominate feature of this style, showcasing large expanses of glazing, often spanning 2 floors and/or wrapping corners. These homes typically include very simple porch or gathering areas finished in exposed concrete. The exterior of this style is infused with strong modern elements which may include steel trellis, beam work or awning features. Subdued, monochromatic colour schemes are most typical for this style and may include natural wood accent features.

##### CHARACTERISTICS:

- Stacked two-storey forms
- Steep pitch gable, single angle or flat rooflines
- Large expanses of glazing
- Exposed concrete porch or entry area
- Monochromatic colour schemes with natural wood features



4.1.2a



4.1.2b



#### 4.1.3 Industrial Farmhouse

The same stacked two-storey forms with simple, steep pitched gable rooflines will characterize the Industrial Farmhouse exterior style. These homes may include a large porch area adorned with simple columns and/or railings or they may incorporate clean concrete entries with or without gathering spaces. Rooflines may include flat roof feature elements. Windows may tend to be larger than a classic style and more erratic in size, shape and location. Exterior materials are a strong identifying feature of the Industrial Farmhouse style, often including metal siding or roofing, corrugated steel, wire grid, or industrial panels. Vibrant colours are often used to highlight certain features.

##### CHARACTERISTICS:

- Stacked two-storey forms
- Steep pitched gable rooflines
- Flat roofline feature elements
- Exposed concrete porch or entry area
- Unique window sizes and placement
- Colour schemes with vibrant highlights



4.1.3a



4.1.3b

#### 4.1.4 Nordic Farmhouse

The timeless aesthetic of Scandinavian architecture will pair with classic Farmhouse forms to create the enduring Nordic Farmhouse style. The familiar stacked two-storey forms and steep pitch gable rooflines will form a strong base for this style. The steep pitched rooflines may be adorned with emphatic roof overhangs to further strengthen the Nordic identity of these homes. Windows will combine large expanses of glazing with smaller signature windows. These homes typically include very simple porch or gathering areas finished in exposed concrete. The exterior of this style will include strong natural wood influences in either siding or feature elements. Subdued, monochromatic colour schemes are most typical for this style.

##### CHARACTERISTICS:

- Stacked 2 storey forms
- Steep pitch gable
- Emphatic roof overhangs
- Large expanses of glazing
- Exposed concrete porch or entry area
- Monochromatic colour schemes with natural wood siding or features
- Minimum 8" smartboard fascia



4.1.4a



4.1.4b

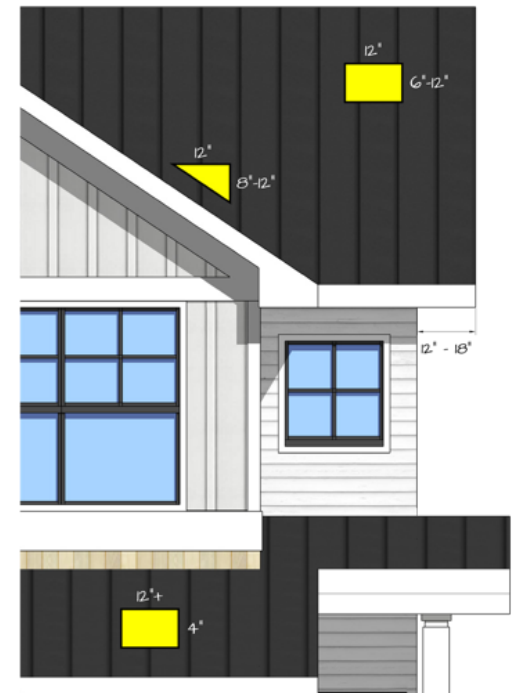


4.1.4c

## 4.2 Roof Design and Pitch

Farmhouse roof lines are typically steeply pitched with overhangs of 12-18”.

- Monolithic roof masses should be avoided and replaced with stepped roof lines, dormers, or gable features to provide interest and variety along the street. Dormers may also provide an alternative to front / back vaults in living areas.
- Min. 12” roof overhangs/soffits are required. Zero overhang may be considered if complementary to the design or a massing on the home.
- Roof pitches on exposed gables shall have a minimum of 8:12 slope and a maximum of 12:12 slope.
- Shed and hip roof lines over porches or lower storey massing may be a minimum of 4:12.
- Flat roof or lower sloped lines will also be considered over entries or lower storey massing.
- Second storey shed and hip roof lines may be considered at a minimum pitch of 6:12.
- Where there is a pitched roof and the dominant ridge line is parallel to the direction of the street, dormers or gable ends will be included in the roof design and must be a minimum of 10:12. Where the ridge line is perpendicular to the street, extensive architectural detailing such as material changes and windows are encouraged.



4.2

## 4.3 Windows

Window style should demonstrate a consistent design that enhances the overall architecture of the house.

- On homes with primarily white or light wall cladding, all exposed windows must have black clad exteriors.
- Windows on homes with premium coloured siding may be white vinyl so long as the window trim is also white.
- Front elevation windows shall be of significant size and demonstrate adequate detailing appropriate for the overall composition of the front elevation.
- Adequate window detailing such as window shutters, 4-inch composite architectural trim, muntin bars, etc. are required on all exposed elevations.

## 4.4 Front Entry Requirements

The front entry of a house is an integral element of the overall design and is expected to be a focal point of the front elevation and/or exposed side elevation. Entrances shall exhibit proper human scale/proportions.

- A strong, visible and architecturally defined front entry is required for each unit.
- The front entry should be directly accessible to the public sidewalk/street. The porch or front entry cover must be clad and roofed in a manner consistent with the front elevation of the house. The front entry design must be integral to the house.
- Two-storey entries are prohibited. All entries should have a covered porch/front entry.
- All steps at the front entry shall be concrete. Wood porches will be acceptable if constructed with a pressure treated deck surface. Pressure treated material is acceptable for horizontal surfaces only. All wood porches will be required to have a Smartpanel skirt with trim or alternatively a masonry skirt. Wood stairs off the wood porch must have closed risers and be enclosed under the stringer with Smartpanel skirt with trim. All vertical porch and stair surfaces must be painted to match the main wall or trim color. Metal or glass railing is required on all wood verandas.
- Front doors are integral to the presentation of the home and must include detailing which responds to the overall style of the house such as (but not limited to): routed edges, windows, sidelights, trims and contrasting colours.
- Garage sidewalls adjacent to the front entry will require a window. If masonry is utilized, a 24-inch masonry return will be required. If no masonry is utilized on the garage, there will need to be a minimum 10" batten trim installed with a minimum 2' return on the non-entry side and a full return to the porch/stoop on the entry side of the house.



4.4a



4.4b

## 4.5 Garage Doors

Front drive garages become a dominant element of the front facade of today's houses. Garages must be designed to be an integral element of the overall style of the house. The garage door is a key element in the overall exterior design and the following.

- A variety of door styles are recommended that complement the exterior architecture.
- Simple panel style door or a flat slab panel door will be acceptable for modern designs at the discretion of the Architectural Consultant.
- Garage door glazing is not required if other detailing or design consideration is present at the discretion of the architectural consultant.
- Garage doors must be painted to match the predominant siding colour or an acceptable complementary colour. White carriage style garage doors will only be permitted when the house has white trim and when appropriate for the architectural style.



4.5a



4.5b



4.5c



4.5d

## 4.6 Detached Garages

All detached rear garages in high exposure locations are to have an exterior design that matches and/or complements the exterior design of the house. This will include:

- Roof style that is consistent with the main roof of the house
- Gable end treatments and detailing to match the house
- Exterior materials and colours match to those on the house.
- Rear detached garages are to have poured broom finish concrete driveways and/or aprons.

## 4.7 High Exposure Elevations

Special exterior design considerations shall be included on high exposure elevations. These elevations are to be treated with the same detailing, materials and attention to detail as the design of the front elevations. Houses with high exposure elevations, including rear exposure and corner lots (including rear) will require detailing on the exposed elevations that represents the overall style of the house and includes similar detailing to that on the front elevation. These elevations must include:

- Articulation of the wall face in the form of jogs, box-outs and /or cantilevers.
- Increased level of detailing including finishes, materials, trims and features similar to the front elevation and consistent with the style of the house.
- Exterior materials that are consistent with those used on the front elevation.
- Roof forms that match the front and provide variety to the rear streetscape, particularly backing onto ponds, parks and walkways.
- Rear decks are to be completed during construction of the house and are to be fully finished with all vertical, exposed surfaces painted to match exterior colour scheme.
- Corner lots are encouraged to include, and will require if identified on the marketing map as such, a covered wraparound porch with a minimum 3' return on the side elevation.



4.7a



4.7b



#### 4.7.1 Side Elevations



4.7.1a



4.7.1b



4.7.1c

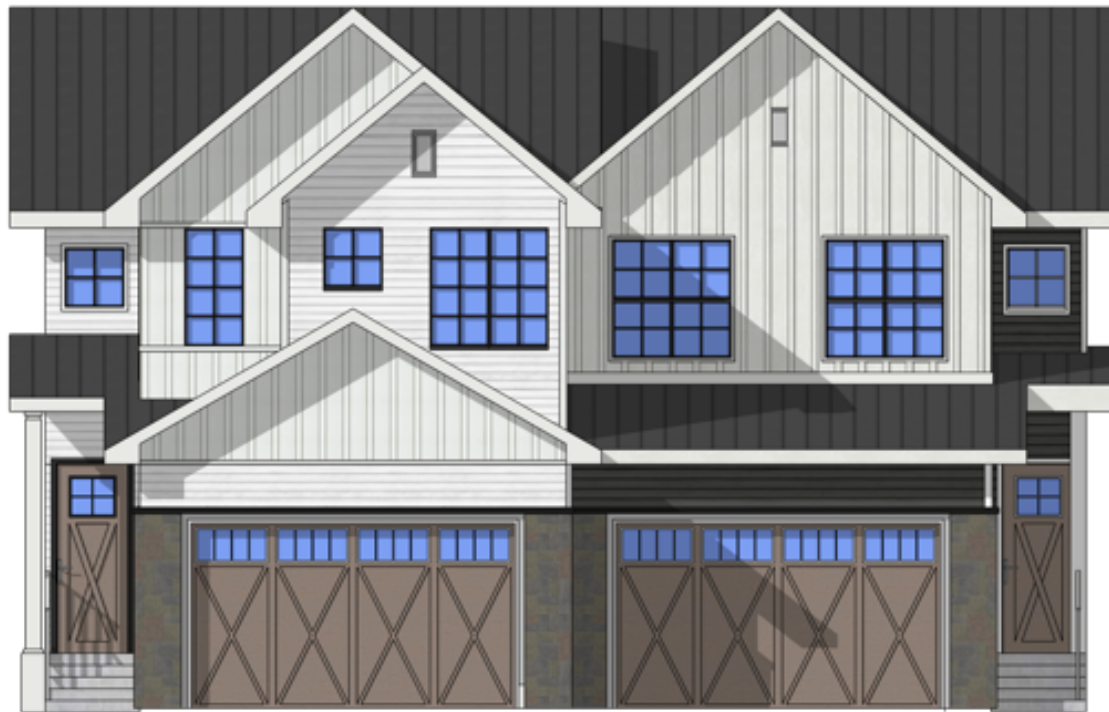
#### 4.7.2 Rear Elevations



4.7.2

#### 4.7.3 Duplex Lots

- Duplexes must have a minimum floor area 1100 sq. ft. per dwelling.
- Duplex buildings must be two-storey structures on all front drive lots but bungalows will be permitted on rear lane-access lots. All duplex buildings must be fully attached along the length of the party wall.
- Each unit/side must have compatible but individual front elevations.
- Front drive duplex units must have a minimum of an attached single car garage for each unit/side.
- On laned duplex lots, a concrete pad for a detached garage is required within 2 years of house construction. A single car garage pad is acceptable.



4.7.3

#### 4.7.4 Parging

All high exposure elevations are to have minimal exposed parging and adhere to the maximum of 12" on the exposed front, side or rear elevations and maximum 24" on any other elevation.





# 5. MATERIALS AND COLOURS

## 5.1 Wall Finish

Primary wall finish refers to the material with the most exposure or coverage. Secondary wall finish refers to the materials with a lesser quantity of wall finish. Finishes for architectural details refers to materials used for window frames, columns, trims, borders and other architectural elements. This section applies to all elevations (including side elevations) that are exposed to a street.

- Exterior wall finishing systems shall include vinyl siding, corrugated metal, standing seam metal, brick, synthetic wood (subject to approval), and cement board siding. Other materials may be considered on an individual basis.
- Conventional stucco will not be permitted anywhere in Summerlea, but smooth finish acrylic stucco may be approved.
- The use of two (2) or three (3) wall finish materials shall typically be required for the major building elevations. High Exposure and corner lots will require at least three (3) wall finish materials.
- Masonry to be finished within 2" from grade. Builders are recommended to follow manufacturer's best practices for installation near grade, which may include a partial mix or full thinset style adhesive.
- Where strong transitions between materials cannot be avoided there must be special care to blend the colour or hue to avoid disharmony.
- Where wall finishes and architectural details are used only on the street front and there is a change of material on the sides, all front facade materials shall turn the corner (wrap- around) at least 2 feet for the full vertical height of the house. Creative transitions of materials are encouraged.

## 5.2 Colours

Colours for roof, face and trim must be coordinated for each unit to complement the individual house design and achieve a harmonious, visually attractive streetscape.

- Bright, vibrant modern colour palettes as well as classic white exteriors will be encouraged in Summerlea.
- If used, trim must be white or black composite wood.
- Homes with primarily white or light wall cladding, all exposed windows must have black clad exteriors.
- Windows on homes with premium coloured siding may be white vinyl so long as the window trim is also white.
- Colour schemes will be reviewed with the following criteria:
  - Visual Interest
  - Contrast in colour scheme
  - Contrast and harmony with neighbouring houses
- Front doors are required to be painted in an interesting, compatible contrasting colour. White front doors will not be permitted.



# 6. PROCESS OF APPROVAL

## 6.1 Review

The purchaser shall review all lot information, marketing materials and the Guidelines prior to choosing a lot.

## 6.2 Submission Process

All submissions for architectural approval will be submitted online through the Streetscape™ Lot Management System. Access to Streetscape is available by invitation only and every user must have their own login on the system and must belong to a Group. There are several types of Groups on Streetscape, each with their own special set of features and view of information. Some types of Groups include:

- Builder
- Developer
- Consultant

If your group is already setup then users are ready to Request Access. If your company is not yet setup as a Group, contact us directly at support@e2.associates to setup and receive the “Basic Orientation for Streetscape for Builders” package.

Information regarding the system and the various processes is available at <http://support.streetscape.com/support/solutions>. You can also email the support email above with any questions or call our 24/7 Contact Centre at 403-256-5123.

## 6.3 Portfolio Review

The Portfolio Review process offers builders the opportunity to submit base portfolio models for a blanket approval within the community. This collaborative process is done before a purchaser is involved in the sales process. Once approved, these models can be sold with confidence that they will be approved.

## 6.4 Preliminary Architectural Approval

Preliminary architectural approval submissions can be made for each lot in order to avoid the unnecessary expense of revising drawings and/or client disappointment.

The Purchaser must submit the following to the Architectural Consultant for a preliminary architectural review:

- Professionally drawn working drawings in pdf format:
  - Floor plans
  - Foundation plans
  - Cross sections – complete with all dimensions from subfloors to footings and subfloors to front and rear grades
  - Four elevations – complete with all exterior materials clearly noted

- Plot Plan complete with builder's proposed setbacks, rear grade, front step grade, garage grade and subfloor elevation
- Optional - Preliminary Architectural Approval Form – complete with material and colour selections
- This information will be reviewed and returned along with design comments, suggested revisions, material and siting requirements

NOTE: Upon return of “the Preliminary Architectural Approval” the builder is responsible for checking all information including the pre-approved plans, plot plans, grades and Preliminary Approval form and contacting the consultant with any concerns or discrepancies before proceeding with the Conditional Final Approval request.

## **6.5 Conditional Final Architectural Approval**

The purchaser shall submit online the following to the Architectural Consultant for

Conditional Final Architectural Approval:

- Professionally drawn working drawings in PDF format showing all revisions required at preliminary approval:
  - Floor plans
  - Foundation plans
  - Cross sections – complete with all dimensions from subfloors to footings and subfloors to front and rear grades
  - Four elevations – complete with all exterior materials clearly noted
- Plot Plan complete with required setbacks, grades, rear grade, front step grade, garage grade and subfloor elevation requested at preliminary approval
- Optional - Final Architectural Approval Form – complete with material and colour selections

## **6.6 Final Colour Review**

Application for Final Colour Approval can take place as part the Application for Preliminary Architectural Approval or Conditional Final Architectural Approval. Otherwise the application for Final Colour Review will be completed separately after the Conditional Final Architectural Approval has been completed. The purchaser shall submit online the following to the Architectural Consultant for Final Colour Review:

- Final Architectural Approval Form – complete with material and colour selections

## **6.7 Final Approval**

When the Final Colour Review has been completed in conjunction with a Conditional Final Approval a Final Approval will be issued as part of the Final Colour Review process.

## **6.8 Revisions**

The Purchaser shall contact the Design Consultant through Streetscape and obtain written approval for any revisions to the architectural approval before the revisions are applied.

Revisions after a Final Approval are subject to a fee charged directly to the builder.

**NOTE:** Upon return of any and all approvals the Purchaser is responsible for checking all information including the approved plans, plot plans, grades and final approval form and contacting the consultant with any concerns or discrepancies.

## **6.9 Site Check**

The Purchaser is responsible for checking the site, legal plan of survey, building grade plan, marketing map and title to the Lands for locations of:

- Light standards,
- Bus zones,
- Fire hydrants,
- Utility right of ways or easements for drainage,
- Catch basins,
- Transformer boxes or utility pull boxes,
- Restrictive covenants,
- Super mailboxes,
- Or other items which may affect the house design, siting, and the size or location of the driveway and report all problems to the Architectural Consultant in writing.

The Builder is to Document in Photos any lot damages after possession, prior to doing any work. All lot damages need to be submitted through Streetscape™.

## **6.10 Building permit**

The Purchaser shall apply for a building permit from the appropriate authority.

## **6.11 Surveyor stakeout**

When the approved plans are finalized and pre-approved by the Architectural Consultant, the Purchaser may proceed to stakeout the property.

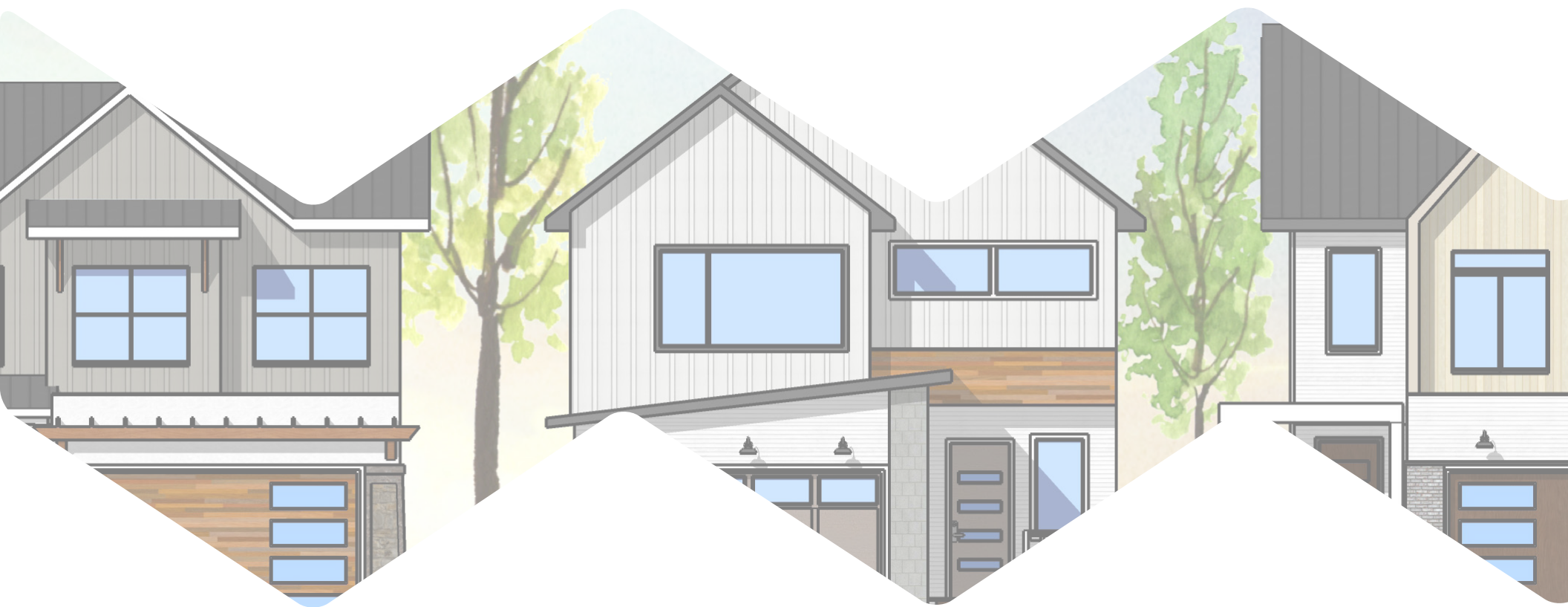
## **6.12 Discretion**

These requirements may be altered, amended or varied by the Vendor, Genstar Development Co., at its sole and absolute discretion and without prior notice. Genstar Development Co. and their designated consultants retain the full discretion to approve or disapprove any or all elements of a proposed development or structure. The vendor, the Architectural Consultant, agents, contractors, and appointees shall not be held responsible or liable for the accuracy, enforcement or compliance with these Landscape and Design Requirements to any Owner, Purchaser and/or Builder within the subdivision.

Genstar or E2 + Associates reserves the right to allow exceptions to the guidelines and shall not be liable for allowing such exceptions. Genstar or E2 + Associates reserves the right to review, comment and approve all plans, elevations and specifications, to ensure designs meet the overall vision. Genstar or E2 + Associates reserves the right to refuse building elevations that do not fit with the overall vision, at their sole discretion.

The same plans that are submitted to the E2 + Associates for approval must also be the plan submitted to the City of Winnipeg for a building permit. Any builders found to be in non-compliance with the Architectural Guidelines will be required to make alterations to the exterior in order to ensure they are met.

These guidelines are subject to change without notice and the Purchaser should contact Genstar to ensure they are referring to the most recent and up to date guidelines in effect at the time plan approvals are requested.





# 7. CONTACTS

Developer

Genstar Development Company

1371 Kenaston Boulevard, Winnipeg, MB R3P 2T5

Phone: (204) 488-6537

[www.genstar.com](http://www.genstar.com)

Architectural Consultant

E2 + Associates

Phone: (403) 256-5123

Email: [support@e2.associates](mailto:support@e2.associates)|[www.e2.associates](http://www.e2.associates)





# APPENDIX A

## High Exposure Lot Map



