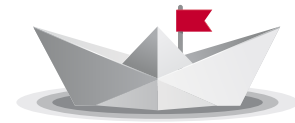


PRELIMINARY
Subject To Change



RIVERSIDE 16/23



LEGEND

- PADMOUNT TRANSFORMER/CUBICLE
- STREET LIGHT / POWER BASE
- SERVICE PEDESTAL
- TELUS VAULT
- HYDRANT
- RECOMMENDED SEMI-DETACHED WIDTH (IN FEET AT 12 METER SETBACK) SEE BUILDING POCKET FOR DETAILS ATTACHED GARAGE LOCATION (SUBJECT TO CHANGE)
- SIDEWALK
- BUS PAD
- DISTURBED SOILS, PILES MAY BE REQUIRED
- ENGINEERED FILL
- SUMP PUMP CONNECTION TO STORM SERVICE REQUIRED BY BUILDERS
- BLACK CHAINLINK FENCE (NO GATES) ON PRIVATE PROPERTY (RESTRICTIVE COVENANT)
- STEP DOWN HORIZONTAL WOOD SCREEN FENCE ON PRIVATE PROPERTY
- ADDITIONAL EXTERIOR FLANKAGE DETAIL REQUIRED
- RC RESTRICTIVE COVENANT FOR MINIMUM BUILDING OPENING (655.2 m)
- TREES AND LOCATION CONCEPTUAL ONLY



- Notes:**
1. All information shown on this plan is deemed accurate to the date shown. Landscape shown conceptual only.
 2. Details are subject to change.
 3. Location of street furniture and shallow utilities subject to change. Genstar will not relocate conflicts.
 4. Bungalows and 2 Storey require window wells.
 5. Wood fencing colour to be Hickory.
 6. Surveyors - building pocket supersedes marketing map.
 7. Retaining walls, if required, installed at purchaser's cost.
 8. Mailbox locations will be determined by Canada Post.
 9. Lots 1 and 2, Block 9 to be held from registration until overhead power is re-aligned.

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