



CRYSTALLINA

NERA

Community Design Guidelines
November 2017





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INTRODUCTION

The community of Crystallina Nera is a mixed-use neighbourhood, located in north Edmonton, which will be comprised of a compatible mix of housing types. Although the community will include an affordability component the overall image of the community will be one of quality. The character of Crystallina Nera will be established through the use of strong traditional North American architectural styles and features.

The buildings, amenity features and ornamentation throughout Crystallina Nera will be derived from the ***Craftsman, Prairie, Colonial*** and ***Tudor*** styles of architecture. These styles represent a return to traditional, historical precedents, a re-awakened interest in history and heritage.

Communities with strong North American traditional architectural styles provide a subconscious link to the past through the various simplified, stylistic elements of the architectural components.

Throughout Crystallina Nera particular attention will be paid to the execution of well-detailed exteriors on all homes. The variety of house types in this community combined with the distinctive architectural styling will provide Crystallina Nera with a visual diversity inspired by the history of the area.

These guidelines provide an overview of the house design requirements for the Crystallina Nera neighbourhood. The developer may alter or augment these guidelines in each or any individual phase of Crystallina Nera as is deemed necessary and will provide information on such at the time of a phase release.





SITE DESIGN ELEMENTS

Following is an outline of the architectural design requirements for the Crystallina Nera community. The Developer and/or its consultant will use these guidelines as a base reference standard and reserves the right to deviate as they determine.

Minimum House Width

The Developer will establish minimum house widths for all lots throughout Crystallina Nera.

Minimum house widths will be as follows:

RSL Lots

Building pocket width

(designated on Marketing plan)

Minimum House Width

House Only

House with Garage

24 ft.

24 ft

24 ft

26 ft.

24 ft

24 ft

28 ft.

24 ft.

24 ft.

30 ft.

26 ft.

28 ft.

32 -34 ft.

30 ft.

30 ft.

36-38 ft.

30 ft.

32 ft.

RPL Lots

Minimum house width is 20 feet.

- A home must meet the minimum house width on all levels through a minimum of half the depth of the home.

The Developer's Architectural Consultant will review and approve or reject homes that may or may not meet the minimum size or width requirements based upon utilization of the lot and massing of the home, in its discretion.

Maximum Building Height

The maximum building height will be established by the by-law requirements of the City of Edmonton.

Building Setbacks

Minimum building setbacks will be required along each street with increased setbacks as necessary due to lot constraints.

- Minimum building setback
 - RSL will be 6.0 M from the front property line
 - RPL will be 4.5 M from the front property line

Grading/Drainage

The purpose of lot grading is to provide good drainage away from buildings for the benefit of property owners. All lots are to be graded in such a way that surface drainage from rainstorms, snowmelt or groundwater is directed away from the buildings and is controlled in a manner that eliminates or minimizes the impact on adjacent properties. Grading must comply with the City of Edmonton Surface Drainage Bylaw and a site plan indicating the lot grading is to be submitted with the Final Approval. Site plans including lot grading for the Crystallina Nera community are to be completed by Pals Geomatics Corp.



Driveways

- The developer will predetermine driveways locations. Changes to the proposed driveway locations must be reviewed and approved by the architectural consultant at the preliminary review stage.
- Where possible, driveways are to be no wider than the width of the garage.
- Driveway material is to be broom finish concrete at minimum.

Garages

- Front drive garages are required on some lots and not permitted on other lots (RPL lots).
- On lots where front drive garages are not permitted (ie RPL Lots) rear drive garages are permitted on an optional basis on certain lots and required to be built in conjunction with construction of the home on other lots. (ie: corner lots) Special requirements will be identified at each lot release.
- Garage locations will be as shown on the subdivision plan.
- Where double car front drive garages are built, the minimum width shall be 18 feet.
- Garage door heights shall be a maximum of 8'-0" in height and shall be adjusted to minimize maintain a distance not greater than 20" space from the top of the door to the underside of the soffit above (minimize the distance above the garage door).
- Garage Doors must be painted to match the house colour or the predominant accent / trim colour.

Corner Lots

- All corner lots are considered to be of high exposure and require special considerations.
- Low profile homes are preferred on corner lots. Rooflines along the exposed flankage side of the lot are to be kept low in profile on all 2 storey and bi-level homes.
- Additional treatment is required on the exposed flankage side of the home. This will include box-outs, additional or larger windows, battens and trim details, alternate material detailing etc. the side elevation must utilize similar treatments as those on the front elevation.
- On bi-level homes, stepped down decks are required to be built at the time of home construction. Raised decks are not permitted.



BUILDING DESIGN ELEMENTS

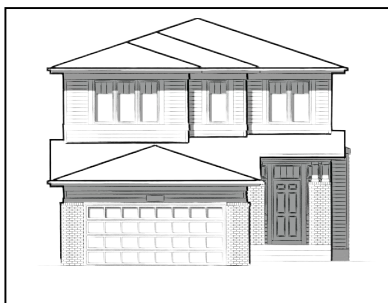
Architectural Styles

The homes throughout Crystallina Nera will embrace North American traditional architectural styles. Homes will utilize design features that are characteristic of but not limited to the following styles of architecture:

Craftsman



Prairie



Colonial



Tudor





General Design

The exteriors of homes in Crystallina Nera will incorporate appropriate rooflines, entry treatments, window treatments and decorative features of the architectural style it portrays. Homes may utilize characteristics of more than one architectural style if used in a complementary manner.

Decorative features and window types used on the front of a house are recommended on all four elevations to achieve a pleasing exterior design.

Exterior details/features

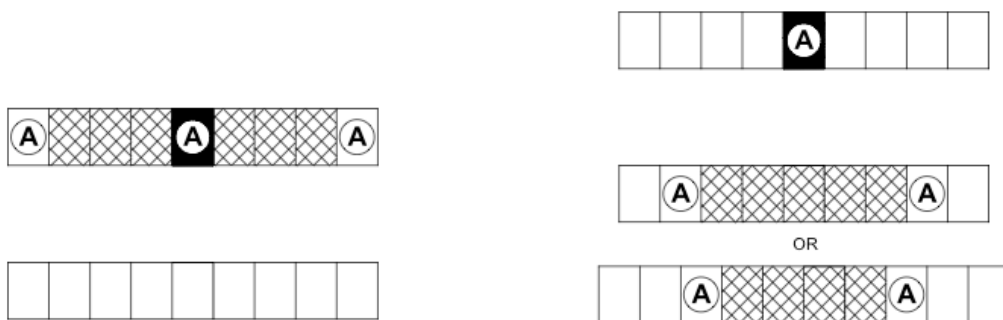
Throughout Crystallina Nera all homes will be required to have well detailed exterior designs. This will include window trims, columns, battens, brackets, beams, and gable end details such as shakes, trusses, shadow boards etc.

Upgraded features such as full porches, masonry finish and columns, Architectural vinyl siding, cement board siding or stucco will be used throughout Crystallina Nera to establish a sense of quality. Each home will be required to include at least 2 of the above elements.

Variety/Repetition

Houses that have similar exterior design are to be avoided in close proximity to one another. Repetition is to be limited, and separation between similar designs will vary depending upon market segmentation at the Architectural Consultant's sole discretion. The general guideline for repetition will be:

Exteriors of the same or very similar design may be repeated with a minimum of three lots in between on the same side of the street or minimum of 2 lots across the street. See examples.



Builders will be required to submit an alternate elevation or provide significant changes to an exterior in order to build within closer proximity. Variations in materials and colours will be considered in the overall appearance of the exterior but will not be acceptable changes on their own.

High Exposure Locations

Homes on high exposure lots require detailing on the exposed elevations equal to that used on the front elevation.

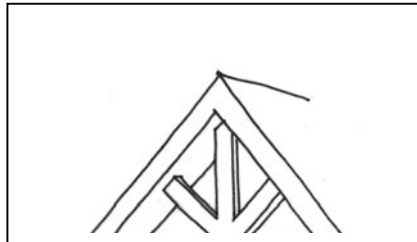
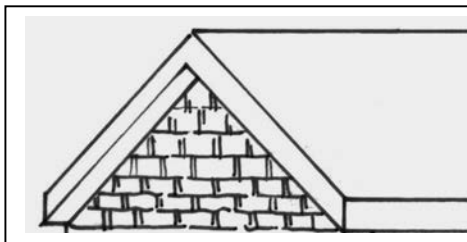
- Corner lots require considerable detailing, which may include single storey elements, large windows, decorative treatments, and box outs.
- Similar treatments to those used on the front elevation are to continue the overall theme of the homes exterior along the flankage side elevation and the rear elevation.
- Exposed rear elevations are to have considerable interest and articulation of the wall faces.
- All exposed elevations are to be completely finished at the time of construction including all decks or porches. All vertical surfaces of decks and porches (trim joists, skirting, railings stringers and risers) must be painted to match either the house or trim colour.



Roofs

Roof form is a key element in defining an architectural style. Utilizing a variety of roof heights and other architectural features such as dormers and broken up ridgelines will enhance each home's street presence.

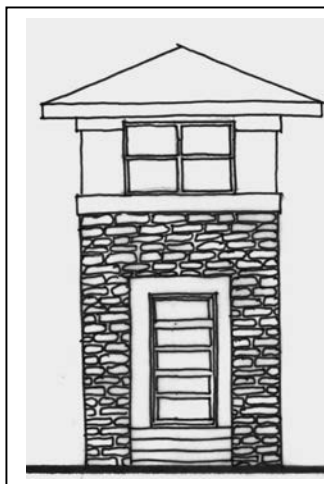
- Roof pitches are to be suitable to the architectural style.
- Minimum roof pitches are 5/12 for all homes excepting bungalows where the minimum is 6/12.
- The use of dormers and other roofline elements are encouraged on their appropriate styles.
- The distance above the garage door to the under eave is to be minimized. (max. 20" preferred)



Main Entrance

The main entrance of the home should be a prominent feature on the front façade. Front entrances should present themselves to the street and be highly visible.

- The entrance design should represent the architectural style and be properly proportioned to the overall massing of the home.
- Front porches are encouraged where they suit the architectural style of a home.
- Front porches and all front entrances must feature solid risers on the stairs leading to them.
- All porches, front entrances and stair risers must be finished and stained or painted to match the approved colour scheme of the home.



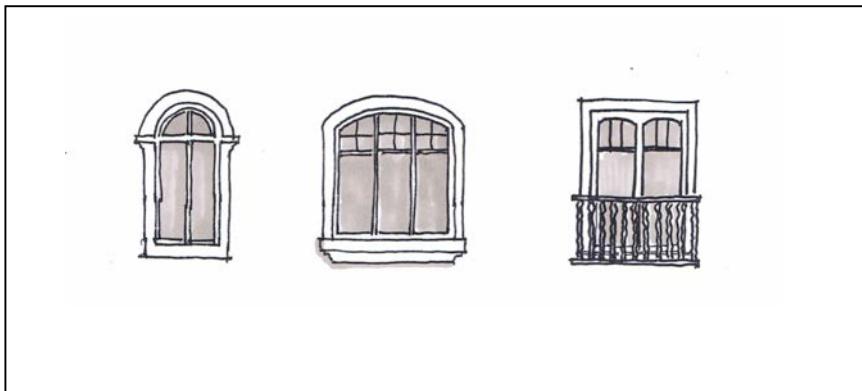
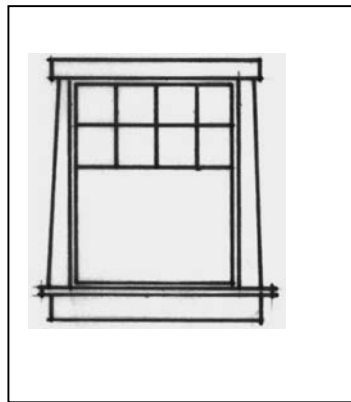


Windows

Windows are a main design feature of the modern home. Window manufacturers carry a wide array of sizes and shapes that allow for creative design opportunities. It is very important to choose the correct window type for the architectural style being considered. Modern interpretations of window types for all architectural styles are available for use today.

Design features to consider when choosing windows:

- Windows are suitable for the architectural style
- Windows are sized to suit the wall space available.
- Segmented windows or window grills appropriate to the architectural style are included.
- Windows are trimmed out with battens, shutters or other details on all high exposure locations.
- Additional windows may be required on high exposure elevations and all windows are to match those on the front elevation.
- Windows are to be deepened to fill the space above garage roofs if grading requires garage to be dropped.





EXTERIOR MATERIALS

Materials

A variety of exterior materials are preferred in Crystallina Nera. The exterior material used on a home be suitable to the architectural style and portray an element of quality. The review of the exterior design, the materials and colours used will be as a comprehensive effect and not as a collection of individual elements. Materials are to be consistent on all four elevations. Facades of one material combined with elevations of another material will not be acceptable. Materials that may be considered include the following:

Walls

- Stucco
- Siding – vinyl, aluminum or hardboard/ Hardi-plank
- The use of Masonry (brick, stone or an approved manufactured masonry product) will be encouraged on most homes in Crystallina Nera.
- Other materials will be considered on an as requested basis.

Roofing

- Asphalt Shingles

Trim

- Trims must be generally in keeping with the period style.
- Exterior trims to be considered are cement board, hardboard, stoneware or acrylic stucco.
- Aluminum soffit and rainwear in one colour will be accepted. However, the colour must complement the overall colour scheme of the home.
- All open gables should receive special attention with shadow boards or other suitable treatments.
- Decorative treatments such as banding shall be returned around corners to a finishing point determined by the Architectural Consultant.

Foundation walls

- Foundation walls are to be fully finished in an appropriate manner for the architectural style.
- Parging on the front of all homes must not exceed 1 foot from landscaped grades and 2 feet on all other elevations, to a minimum distance of the front 1/3 of the house length.
- On corner lots the parging on side elevations must not exceed 2 feet through the entire length of the flankage side of the lot.

Masonry

- Masonry finishes and features are to be designed as an integral part of the overall exterior.
- Masonry should be present on each side of the home that has significant exposure to view.
- Acceptable masonry facing materials include natural or cultured stone, brick in solid colours and stoneware.
- All masonry is to be returned a minimum of 20 inches around corners
- Where masonry is used, masonry details are required on the rear elevation of houses where the rear is in a high exposure situation. ie: streets, parks or any public areas and on exposed corner and garage elevations.



COLOURS

A variety of exterior colours will be encouraged throughout Crystallina Nera. The focus will be on well-coordinated, attractive colour schemes that enhance the Architectural style.

Repetition

- Repetition of the colour schemes must be avoided in close proximity. Repetition of individual colours will be at the discretion of the Approval Committee based on variety provided in overall home style or detailing.

Roofing

- Asphalt shingles in darker shades of brown, grey and black will be acceptable throughout Crystallina Nera.

Wall colours

- A variety of wall colours will be permitted throughout Crystallina Nera. Strong, darker wall colours reminiscent of the Craftsman and Prairie architectural styles will be encouraged along with lighter wall colours favoured by the Colonial and Tudor styles.

Trims

- Aluminum soffit and rainwear in one colour will be accepted. However, the colour must complement the overall colour scheme of the home.
- The use of strong, brighter colours must be limited to small accent areas only

Garage Doors

- The colour of the garage door must match the main house colour. the trim colour or may be a complementary wood stain provided there are other wood accents on the home (ie – wood beams, brackets, front door).





PROCESS OF APPROVAL & HOUSE CONSTRUCTION

The following process will be followed for submissions for architectural approval in Crystallina Nera.

Review

The Purchaser shall review all lot information, marketing material and the Guidelines prior to choosing a lot.

Submission Process

All submissions for architectural approval will be submitted online through the StreetscapePLUS Lot Management System. Access to StreetscapePLUS is available by invitation only and every user on the system must belong to a Group. There are several types of Groups on StreetscapePLUS, each with their own special set of features and view of information. Some types of Groups include:

- Builder
- Developer
- Consultant

If your Group is already setup then you are ready to Request Access. If you don't yet have a Group – then you can contact us directly to have one setup and request the orientation package.

Go Package: Basic Orientation

StreetscapePLUS for Builders

Our contact information can be found online at www.evans2design.com or at the end of this document.

Preliminary Approval

Genstar strongly recommends that preliminary approval submissions be made for each lot in order to avoid the unnecessary expense of revising drawings and/or client disappointment.

The Purchaser must submit the following to the Architectural Consultant for a preliminary review:

- floor plans - sketches or existing drawings that include all exterior dimensions
- front elevation and all exposed elevations - in the case of corner lots or lots exposed to open spaces
- materials and colours selections, if customer preference is already known

This information will be reviewed and returned along with design comments, suggested revisions, material and colour comments and siting requirements.

The purchaser is to fully review all preliminary information supplied and make all necessary changes to the drawings and final submission information prior to proceeding with final approval.



Site Check

The Purchaser is responsible for checking the site, legal plan of survey, building grade plan, marketing map and title to the Lands for locations of:

- light standards
- bus zones
- fire hydrants
- utility right of ways or easements for drainage
- catch basins
- transformer boxes or utility pull boxes
- restrictive covenants
- super mail boxes

or other items which may affect the house design, impact it's siting or the size or location of the driveway and report all problems to the Architectural Consultant in writing.

Final Approval

The Purchaser shall submit online the following to the Architectural Consultant for final approval:

- professionally drawn working drawings in pdf format:
 - floor plans
 - foundation plans
 - cross sections - complete with all dimensions from subfloors to footings and subfloors to front and rear grades
 - four elevations - complete with all exterior materials clearly noted
 - Plot Plan complete with proposed grades
 - Final Approval Form - completed with materials and colours

NOTE: Upon return of "the Architectural Approval" the Purchaser is responsible for checking all information including the approved plans, plot plans, grades and final approval form and contacting the consultant with any concerns or discrepancies.

Revisions

The Purchaser shall contact the Design Consultant through StreetscapePLUS and obtain written approval for any revisions to the architectural approval before the revisions are applied. Charges for revisions after Final Approval are subject to a fee charged directly to the builder.

Building Permit

The Purchaser shall apply for a building permit from the appropriate authority.

Surveyor Stakeout

When the approved plans are finalized and approved by the Architectural Consultant, the Purchaser may proceed to stakeout the property.

Final lot Inspection

Upon completion of the house, the builder will submit an approved, stamped, grading certificate from the City of Edmonton to the consultant to initiate a Final Inspection of the home. Homes must be fully complete with all seasonal work done and driveway installed.



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