

**“Schedule B”**

**Amber Trails Phase 15  
Architectural Guidelines**

**A. General Requirements and Siting**

1. Houses shall have a minimum double attached garage.
2. Houses with identical front elevations are not permitted on adjacent lots.
3. A 2-storey home between two bungalows and vice versa may be permitted if compatibility of the adjacent roof line can be achieved. **Cab-over style houses will be allowed on adjacent lots provided the front elevations are substantially different and have attractive detailing.**
4. Roof lines shall have a minimum 5:12 slope.
5. Driveways shall be constructed with concrete or interlocking paving stone from the garage to the street pavement. The driveway and the approach shall be constructed at the same time.
6. Pre-cast concrete sidewalk blocks are **not** permitted in front yards.
7. To ensure proper house configuration on individual lots, please refer to the driveway location plan for this area.
8. The following **MINIMUM HOUSE SIZES** apply to this area:

Lot Classification	Bungalows, Bi-levels & Cab-overs (Main Floor)*	Two Stories & Split Levels*
Lake Lots (Block 3, Lots 1-7)	1600 sq. ft.	1900 sq. ft.
44' and wider	1400 sq. ft.	1800 sq. ft.
42' to 44' wide	1300 sq. ft.	1700 sq. ft.
Less than 42' wide	1250 sq. ft.	1600 sq. ft.

\* Homes with a living area up to **5%** less than the above stated minimums may be permitted provided that the front elevation detailing compensates for a smaller living area.

9. The house width and setbacks shall take the lot size and applicable City of Winnipeg Zoning By-laws into account. Side yards shall generally **not** exceed the City of Winnipeg Zoning by-law allowable minimum by more than **1 foot** per side. Approval shall be at the sole discretion of Genstar.

**B. Exterior Design & Elevation**

1. High Profile Lots are intended to provide an aesthetic quality to streetscapes and street vistas within the neighbourhood. High profile lots are identified as:

Lots 27-33, Block 2  
 Lots 50-51, Block 2  
 Lots 57-58, Block 2  
 Lot 13, Block 4  
 Lots 8-9, Block 5

\*See attached High Profile Lot Map Appendix “A”.

2. No particular house style or theme is being promoted in this area, but contemporary modern features such as a flat roof will not be permitted.
3. Cab-over style houses will not be allowed on high profile lots.
4. Cab-over style houses will be allowed on lots that are less than 42' wide subject to the provisions of these guidelines. Cab-over style houses will be considered for approval on lots that are 42' wide or greater provided the full minimum house size set out under A(8) is achieved and the house conforms explicitly with the requirements of the City of Winnipeg Zoning By-law (E.g. On a 44' wide lot, the house would have to be 36' wide).
5. On a cab-over style house, detailing on the front elevation over the garage should be de-emphasized in comparison to the rest of the front elevation and the front plane of the room over the garage must be set back a minimum of six (6) feet from the front plane of the garage.
6. All garage depths including those of cabover homes must not exceed 24'.
7. Houses with a garage that is no more than 2' in front of or behind the main front plane of the house will be encouraged, particularly on lots that are 44' or greater in width.
8. The front entry door should be fully visible from the street and porches and covered entries are encouraged on the front elevation of the house where possible. Partially obscured front entry doors will be allowed as long as 2/3 of the door is fully visible and the home is on a lot that is 40' wide or less.
9. Gable ends above the garage are discouraged but may be permitted if sufficient treatment or detailing is provided.
10. Garage foreheads are required to be of appropriate scale and have adequate detailing.
11. The exterior front elevation must consist of a minimum of **two** of the following materials:
  - ♦ Brick      ♦ Stone      ♦ Stucco\*      ♦ Vinyl Siding\*      ♦ Hardy Board      ♦ Wood

\* Stucco or vinyl siding should comprise no more than 50% of the surface area of the front elevation of a house (including doors, windows and garage doors).

\*\* A heavier material must always sit below a lighter one.
12. a) In addition to the two front elevation materials, all houses are to incorporate a meaningful combination of the following detail features (using a minimum of 2 features) on the front elevation to the satisfaction of Genstar:
  - Roof details (dormers, false beams, exposed trusses, etc.)
  - Columns (heavy square piers or classic columns)
  - Railings (simple or ornate railings on porch)
  - Eaves detailing (overhang with dentils or brackets)
  - Vents (shuttered, circular, oval, hexagonal, etc.)
  - Front entry doors (decorative window inserts, paneled, etc.)
  - Shutters (full or half louvered, cut-out, paneled, etc.)
  - Windows (incorporate mullions, transoms or muntin bars)
  - Garage doors (window inserts, paneled, etc.)
  - Other features as deemed acceptable by Genstar

*(See Appendix "B" to the Architectural Guidelines for examples)*

b) In addition to 12. A), High Profile Lots are required to have a front elevation detailing that includes the following:

- 4" trim on all windows
- A band of windows across the garage door or alternate garage door detailing to the satisfaction of Genstar.
- If gable ends are present they are to incorporate detail (shakes, paneling details, brackets, etc.)

No lattice will be allowed as cladding for the bottom of front porches of homes on High Profile Lots. Stucco bump outs will not be allowed on High Profile Lots.

13. Special exterior design considerations shall be included for the flankage side of houses on corner lots. These corner lot, flankage elevations are to be treated with the same composition and attention to detail as the front elevation and will incorporate in a holistic manner, the same materials and details as found on the front elevation.
14. All exterior colour schemes must be detailed and **submitted with plans for approval**. Colour schemes shall be in keeping with the overall trend established in adjacent areas of Amber Trails.
15. If stucco bump-outs are included in the house design, they are required to provide adequate contrast in texture or colour from the main body of the house.
16. Exterior colour schemes shall demonstrate adequate contrast in colour selection between the front door and it's surrounding wall and trim. If the home's colour scheme applies an accent colour on trim detailing or shutters the colour should also be picked up in the colour of the front door.

### **C. Promotional and Directional Signage**

1. Not more than one (1) shall be placed on any lot. No sign greater than four (4) square feet in area shall be permitted unless otherwise approved by Genstar.

### **D. Submitting Plans**

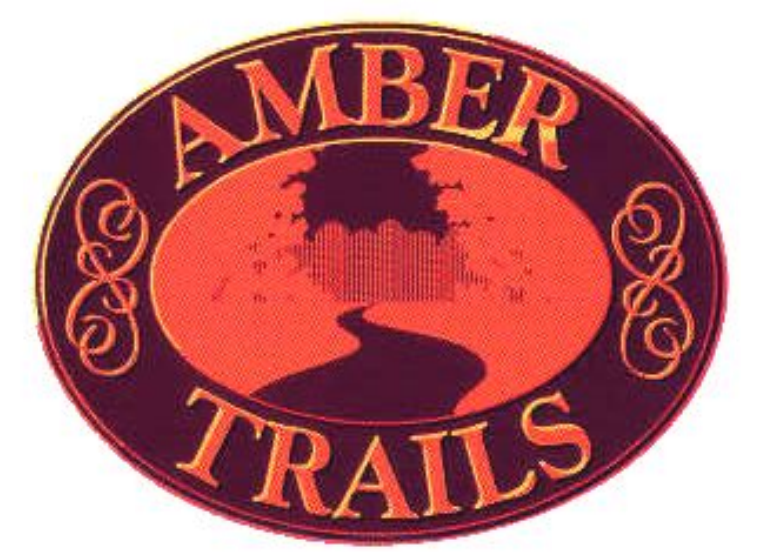
1. For architectural approval to be considered, the builder must submit the following to Genstar:
  - a. Site plan showing building locations, setbacks and driveway location and orientation.
  - b. Detailed drawings of the floor plan for each level of the house indicating gross floor area for each level.
  - c. Detailed drawings of the elevations of each side of the house including details of the front elevation materials, additional detail features and colour schemes.
2. These guidelines are subject to change without notice and the Purchaser should contact Genstar to ensure they are referring to the most recent and up to date guidelines in effect at the time plan approvals are requested.

# APPENDIX "A" - AMBER TRAILS PHASE 15 - HIGH PROFILE LOT MAP



**LEGEND**

- HIGH PROFILE LOTS
- REGULAR LOTS
- CORNER LOTS



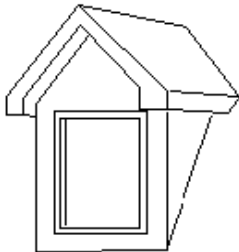


**Appendix "B":**

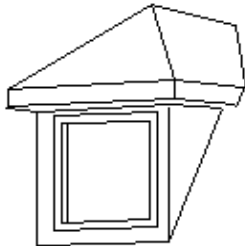
**Amber Trails Phase 15 Architectural Guidelines  
Detailing Examples**

The following examples are only intended to provide a guideline for the types of detailing that would be acceptable to Genstar.

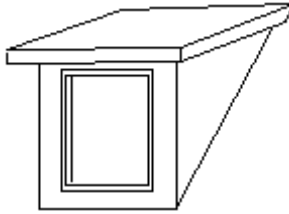
**Roof**



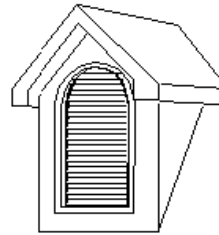
*Gable Dormer*



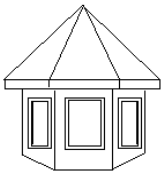
*Hip Dormer*



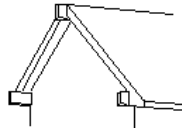
*Shed Dormer*



*Vented Dormer*



*Cupola*



*False Beams*

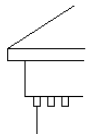


*Exposed Trusses*

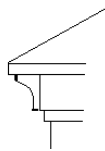


*Verse Boards*

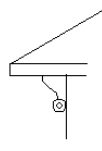
**Eaves**



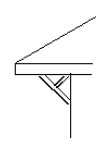
*Slight Overhang  
With Dentils*



*Slight Overhang  
With Brackets*

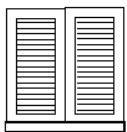


*Overhang With  
Decorative Brackets*

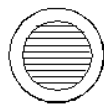


*Overhang With Brace*

**Vents**



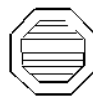
*Shuttered*



*Circular*



*Oval*



*Hexagonal*

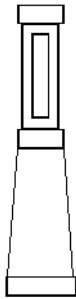


*Triangular*

**Columns**



*Square Pier Column*

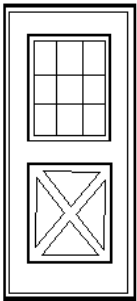


*Pier Column w/ Slanted Sides*

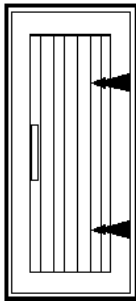


*Classic Columns*

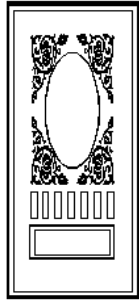
**Entry Doors**



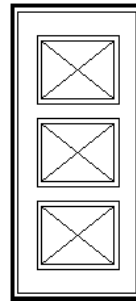
*Country*



*Board and Batten*

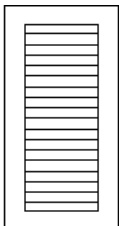


*Decorative Screen*

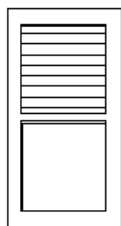


*Paneled*

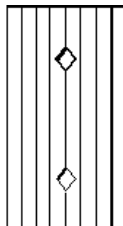
**Shutters**



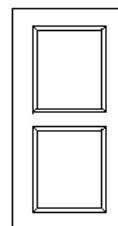
*Full*



*Half*

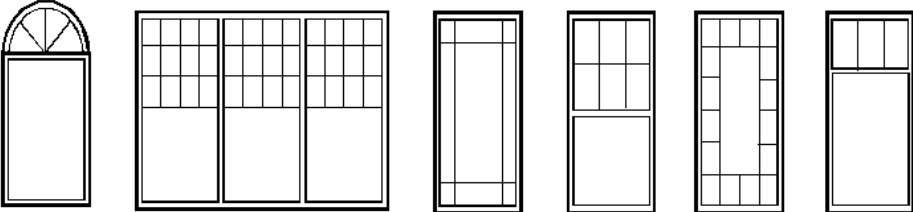


*Cut Out*



*Paneled*

**Windows**



**Garage Doors**

